

BID ADDENDUM 3

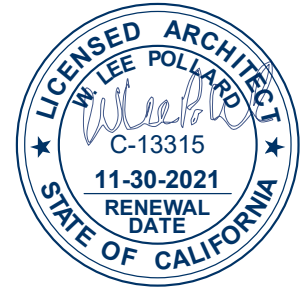
November 18, 2021

**San Rafael High School
AD Building Remodel**
150 Third Street
San Rafael, California 94901

SRCS RFP # 21-04

DSA Application No. 01-119449

San Rafael City Schools
310 Nova Albion Way
San Rafael, California 94903



This addendum shall supersede all previously issued specifications, addenda, and drawings wherein contradicts same. All other conditions remain unchanged. The following changes, modifications, corrections, clarifications, and / or additions as set forth herein shall apply to the above documents and shall be made a part thereof and shall be subject to all the requirements thereof as though originally specified and / or shown.

Bid Documents:

- 3 - 1 The Bid Documents and Project Specifications, originally posted to the District's web site as separate documents, have been combined into a single document, Project Manual.

Specifications:

- 3 - 2 Revise the construction barrier plans and site access / laydown areas as shown on attached drawings ASK-07 and ASK-08. The bike enclosure can be removed by the contractor at the contractor's option to make layout easier. Temporary fencing shall be installed with full height privacy screens. Construction access to the site shall be from Mission Avenue. All construction vehicles shall be parked off site on the public streets.

Contractor shall provide temporary interior barrier partition as shown on attached Construction Barrier Plan, ASK-08. Partitions shall be wood construction with plywood on construction side and Type 'X' gypsum board on the public side. Partitions in corridor areas shall be floor to underside of T-bar ceiling. Partitions in entry lobby shall match the same height as the corridors.

Drawings:

- 3 - 3 Sheet A2.03 (Addendum 1): First Floor Plan, Drawing 30 - Remove (delete) built-in reception desk in Staff 141B.
- 3 - 4 Sheet A4.01 (Addendum 1)
- a. First Floor Detailed Plan – Area A, Drawing 30 – Remove all casework except teaching wall and replace with marker boards in Classrooms 1, 2, and 3. Add keynote 10.07 (ASK-01)

- b. First Floor Detailed Plan – Area B, Drawing 15 – Remove built-in reception desk in Staff 141B, 30x48 clear floor space at counter, and keynote 06.23
 - c. First Floor Detailed Plan – Area B, Drawing 15 – Remove all casework except teaching wall and replace with marker boards in Classroom 5. Add keynote 10.07 (ASK-02)
- 3 - 5 Sheet A5.01
- a. Classroom 1, Drawing 11 & 12 – Remove all casework except teaching wall and replace with marker boards. Add keynote 10.07 (ASK-03)
 - b. Classroom 2, Drawing 19 & 20 – Remove all casework except teaching wall and replace with marker boards. Add keynote 10.07 (ASK-04)
 - c. Classroom 3, Drawing 28 & 29 – Remove all casework except teaching wall and replace with marker boards. Add keynote 10.07 (ASK-05)
- 3 - 6 Sheet A5.02 (Addendum 1)
- a. Classroom 5, Drawing 16 & 17 – Remove all casework except teaching wall and replace with marker boards. Add keynote 10.07 (ASK-06)
 - b. Waiting Area, Drawing 8D – Remove built-in reception desk and keynote 06.08
- 3 - 7 Sheet A9.03 (Addendum 1): Remove / delete Detail 19
- 3 - 8 Sheet S2.3: Revise to show addition of two new DOAS units and three new heat pumps
- 3 - 9 Sheet M0.2 (Addendum 1): Revise Fan Coil Unit Schedule, Heat Pump Unit Schedule, and Dedicated Outside Air System Schedule (MSK-01)
- 3 - 10 Sheet M1.2: Revise to show demolition of two existing rooftop units (MSK-03)
- 3 - 11 Sheet M2.2: Revise to show addition of two new DOAS units, three new heat pumps, and related piping (MSK-05)
- 3 - 12 Sheet M5.2
- a. Add DOAS Unit to (E) Curb Mounting detail (MSK-06)
 - b. Add Hold Down Placement detail (MSK-06)
- 3 - 13 New Sheet MSK-02: Revise to show additional work to remove existing thermostat in two classrooms
- 3 - 14 New Sheet MSK-04: Revise to show addition of fan coil units and related piping in two classrooms
- 3 - 15 Sheet E0.03 (Addendum 1)
- a. Revise Existing Panel 2B (ESK-01)
 - b. Revise Existing Panel DB1-A (ESK-02)
 - c. Revise Revised Panel DB1-A (ESK-03)
- 3 - 16 Sheet E3.03 (Addendum 1): Remove existing conductors and extend conduit to new rooftop units (ESK-04)
- 3 - 17 Sheet E3.04 (Addendum 1): Provide new conduit and conductors to new roof top units (ESK-05)
- 3 - 18 New Sheet ESK-06: Provide electrical to new fan coil units in two classrooms

Clarifications and Responses to Questions Received from Pre-Qualified Respondents and Additional Information Furnished by SCRS:

1. *Question: Can you please provide the engineers estimate for the project?*
 - a. Answer: Please see the item labeled “SRHS AD Building Bid Schedule” at <https://www.srcsbondprogram.org/> under the “Doing Business With Us” page for this information.
2. *Question: Can you please advise if there is an estimate for the above project. If so, what is the estimate?*
 - a. See response to item #1 in this addendum.
3. *Question: Are there any PLAs or any union crap on this one or just low bid open to all?*
 - a. SCRS does not have a PLA. Bidders will be required to pay prevailing wages in compliance with DIR requirements as noted in the provided documentation.
4. *Question: Do we need to fill out Pre-Qualification documents?*
 - a. Bidders must be prequalified per the provided documents in order to be considered a responsive bidder. Prequalification applications may be submitted by clicking on the “Contractors” link at <https://www.srcsbondprogram.org/> under the “Doing Business With Us” page.
5. *What is engineer’s estimate?*
 - a. See response to item #1 in this addendum.
6. **SRCS Note:** Please see the hazardous material testing report as well as associated specifications at <https://www.srcsbondprogram.org/> under the “Doing Business With Us” page. Responsive bidders shall include any & all costs associated with abatement of any materials identified in this report in their base bid.
7. **SRCS Note:** Please see the document titled “SRHS AD Testing Dates” at <https://www.srcsbondprogram.org/> under the “Doing Business With Us” page. Responsive bidders shall understand that work on these dates shall not disrupt the student body or staff.
8. **SRCS Note:** Please see the logistics plan at <https://www.srcsbondprogram.org/> under the “Doing Business With Us” page. Contractor shall include establishment of a solid, full height interior partition & exterior fencing with privacy screen for the course of construction as well as removal and reestablishment of existing conditions at conclusion of project as part of their base bid.
9. *Question: When do expect this job to be awarded and also would this project be something that is done over summer of 2022?*
 - a. This project is expected to be awarded at the December 13th, 2021 board meeting. Construction is expected to begin on or around January 6th, with substantial completion by May 6th, 2022.
10. *Question: Looking for the plan and specs for SRHS AD Building.*
 - a. Answer: These can be found at the SCRS Bond Program Website under the link titled “Doing Business With Us”.
11. *Question: We are interested of bidding this job as General. Prior to attending the Mandatory Pre Bid Conference, would you mind to provide us a Engineer’s estimate for this project? We would like to know the cost valuation.*
 - a. See response to item #1 in this addendum.
12. *Question: Is there an Engineer’s Estimate for the subject project bid?*

- a. See response to item #1 in this addendum.
13. *Question: Is SAN RAFAEL HIGH SCHOOL AD BUILDING MODERNIZATION PROJECT a Project Labor Agreement? There are two mentions in the General Conditions page 2, one indicates (If applicable) and the other describes what a Project Labor Agreement is.*
- a. No, the SRHS AD Building Modernization Project is not subject to a PLA.
14. *Question: We are considering on bidding this project but would like a little more info if possible. What is the proposed evaluation of this project? I don't see anything listed.*
- a. See response to item #1 in this addendum.
15. *Question: I do not see section 00 43 13 Bid Bond in the bidders manual. Could you please send that document to me so I may get my surety on board.*
- a. Please see the update project manual at the SRCS Bond Program Website under the "Doing Business With Us" link; the Bid Bond has been included in the updated project manual.
16. *Question: We are interested in coming to the walk through today for the project mentioned above. I wanted to double check about the pre-qualification process, as we are not listed on the prequalified contractors list. Will we be able to fill out the form before the bid day to be eligible? Please let me know.*
- a. Please see response to item #4 in this addendum.
17. SRCS Note: Any previously issued responses to questions or clarifications in this addendum are nonbinding. The responses to the questions and clarifications in this addendum shall supersede any previous response.

Attachments:

- ASK-01, First Floor Plan – Area A
- ASK-02, First Floor Plan – Area B
- ASK-03, Classroom 1 – Elevations A & B
- ASK-04, Classroom 2 – Elevations B & C
- ASK-05, Classroom 3 – Elevations A & B
- ASK-06, Classroom 5 - Elevations A & D
- ASK-07, Construction Barrier Plan
- ASK-08, Construction Staging Plan
- SSK-01, Partial Roof Framing Plan
- MSK-01, Mechanical Schedule
- MSK-02, Mechanical Second Floor Demolition Plan
- MSK-03, Partial Mechanical Roof Demolition Plan
- MSK-04, Mechanical Second Floor Plan
- MSK-05, Partial Mechanical Roof Plan
- MSK-06, Mechanical Details
- ESK-01, Electrical Panel Schedule
- ESK-02, Electrical Panel Schedule

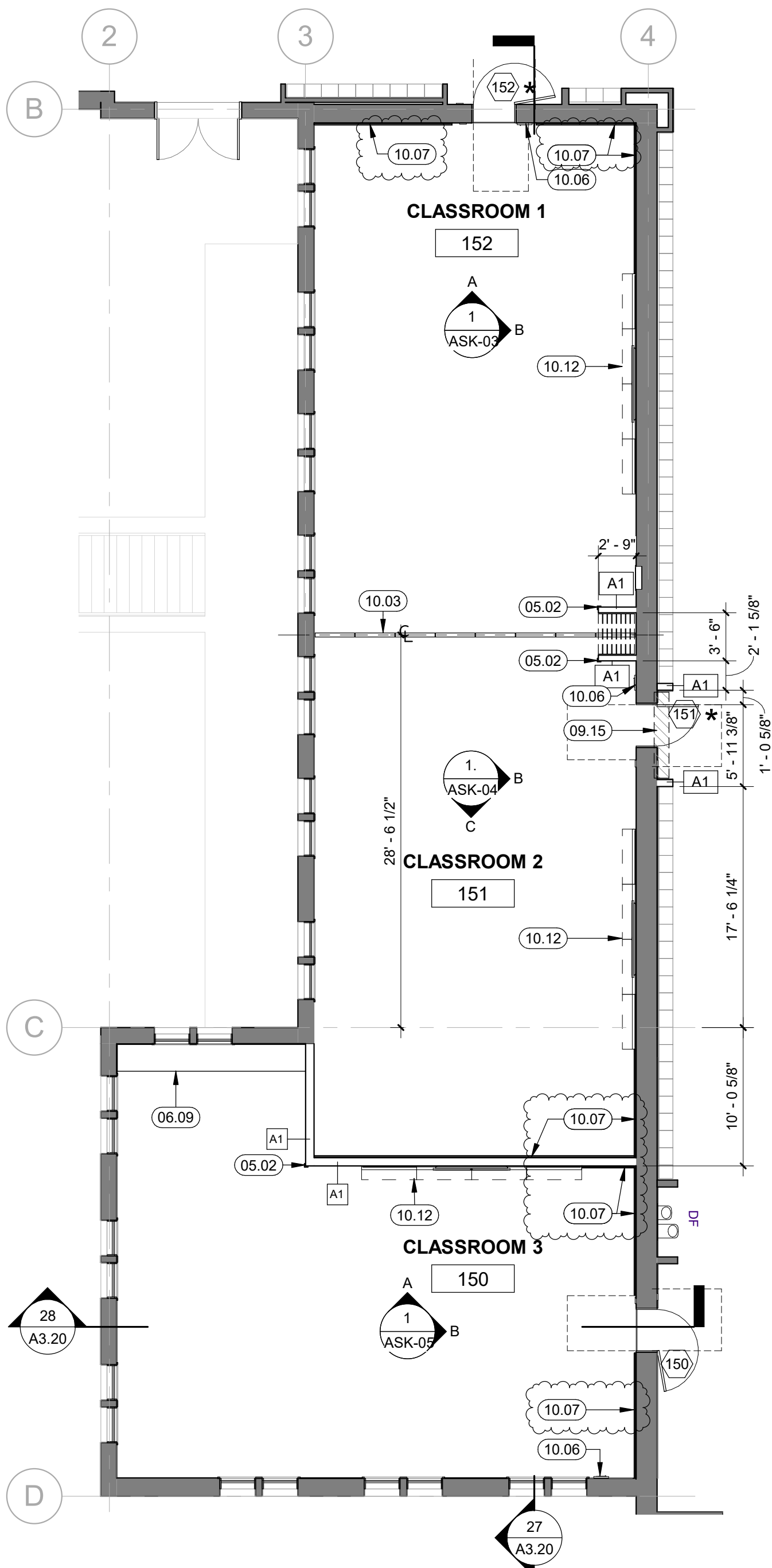
ESK-03, Electrical Panel Schedule

ESK-04, Partial Electrical Roof Demolition Power Plan

ESK-05, Partial Electrical Roof Power Plan

ESK-06, Electrical Power Plan – Second Floor

SRHS AD Modernization Pre-Bid Site Walk Sign-In Sheet



1 FIRST FLOOR PLAN - AREA A

1/8" = 1'-0"

KEYNOTES	
05.02	S.S. CORNER GUARD, SEE SPECS
06.09	(N) P.LAM COUNTERTOP, SEE DETAIL 25/A9.03
09.15	PATCH FLOORING WHERE LOCKERS HAVE BEEN REMOVED. MATCH (E) FLOOR FINISH
10.03	FOLDING PARTITION, SEE DETAIL 10/A3.30, SEE SPECS
10.06	SEMI-RECESSED FIRE EXTINGUISHER SEE DETAIL 27/A9.03 SIM.
10.07	MARKER BOARD, SEE DETAIL 20/A9.03
10.12	TEACHING WALL CASEWORK W/HORIZONTAL SLIDING MARKERBOARD UNIT, SEE DETAIL 10/A9.03

SR SAN RAFAEL CITY SCHOOLS

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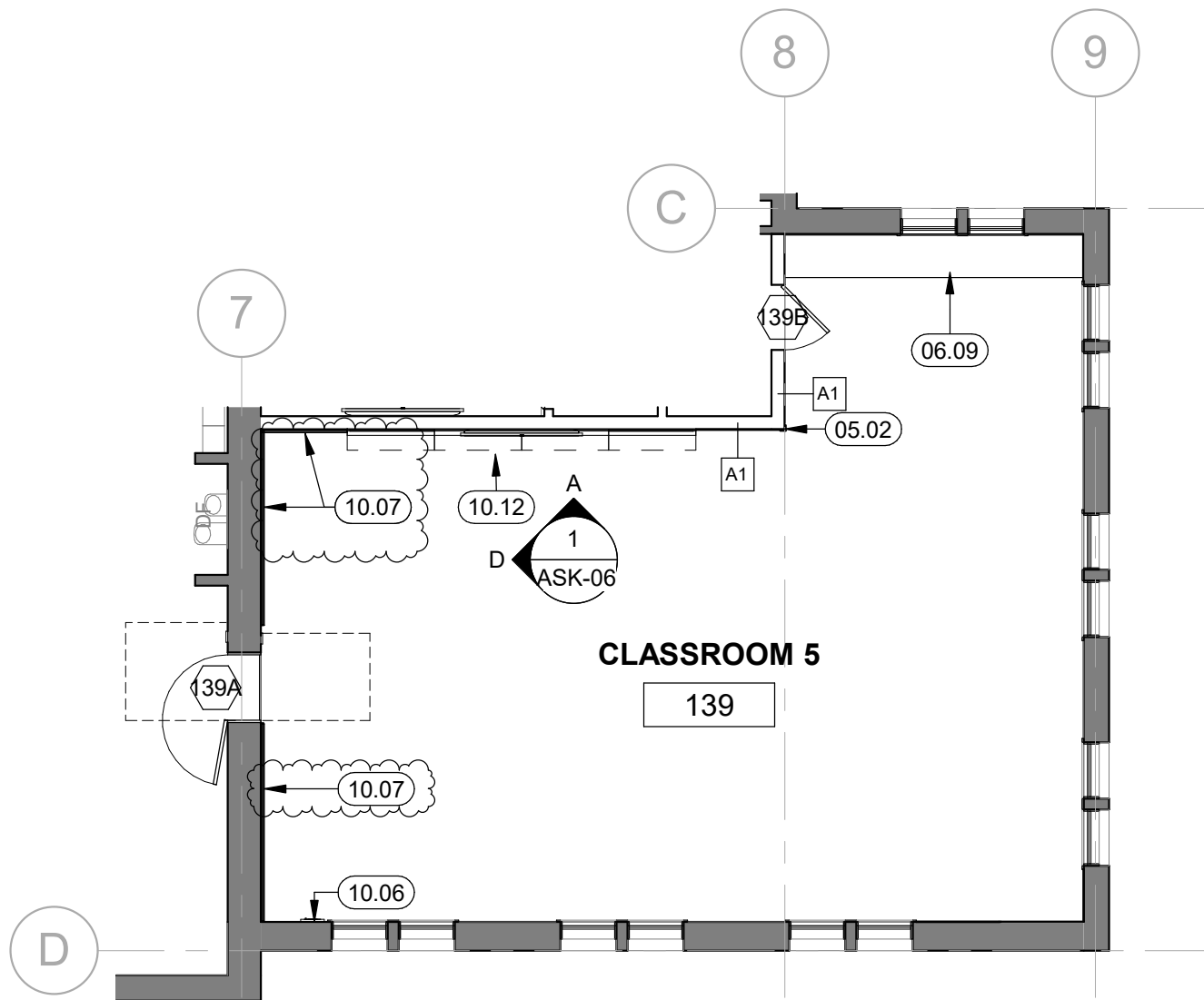
HYA Job No. 5561

Project AD BUILDING REMODEL
Facility SAN RAFAEL HIGH SCHOOL
150 3RD STREET, SAN RAFAEL, CA 94901

HY HIBSER YAMAUCHI Architects, Inc.
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510.446.2222 tel; 510.446.2211 fax



Drwn By	EM
Ref. Dwg.	30/A4.01
Issue Date	11/11/2021
Sheet	ASK-01



1 FIRST FLOOR PLAN - CLASSROOM 5
1/8" = 1'-0"

KEYNOTES

- 05.02 S.S. CORNER GUARD, SEE SPECS
- 06.09 (N) P.LAM COUNTERTOP, SEE DETAIL 25/A9.03
- 10.06 SEMI-RECESSED FIRE EXTINGUISHER . SEE DETAIL 27/A9.03 SIM.
- 10.07 MARKER BOARD, SEE DETAIL 20/A9.03
- 10.12 TEACHING WALL CASEWORK W/HORIZONTAL SLIDING MARKERBOARD UNIT, SEE DETAIL 10/A9.03

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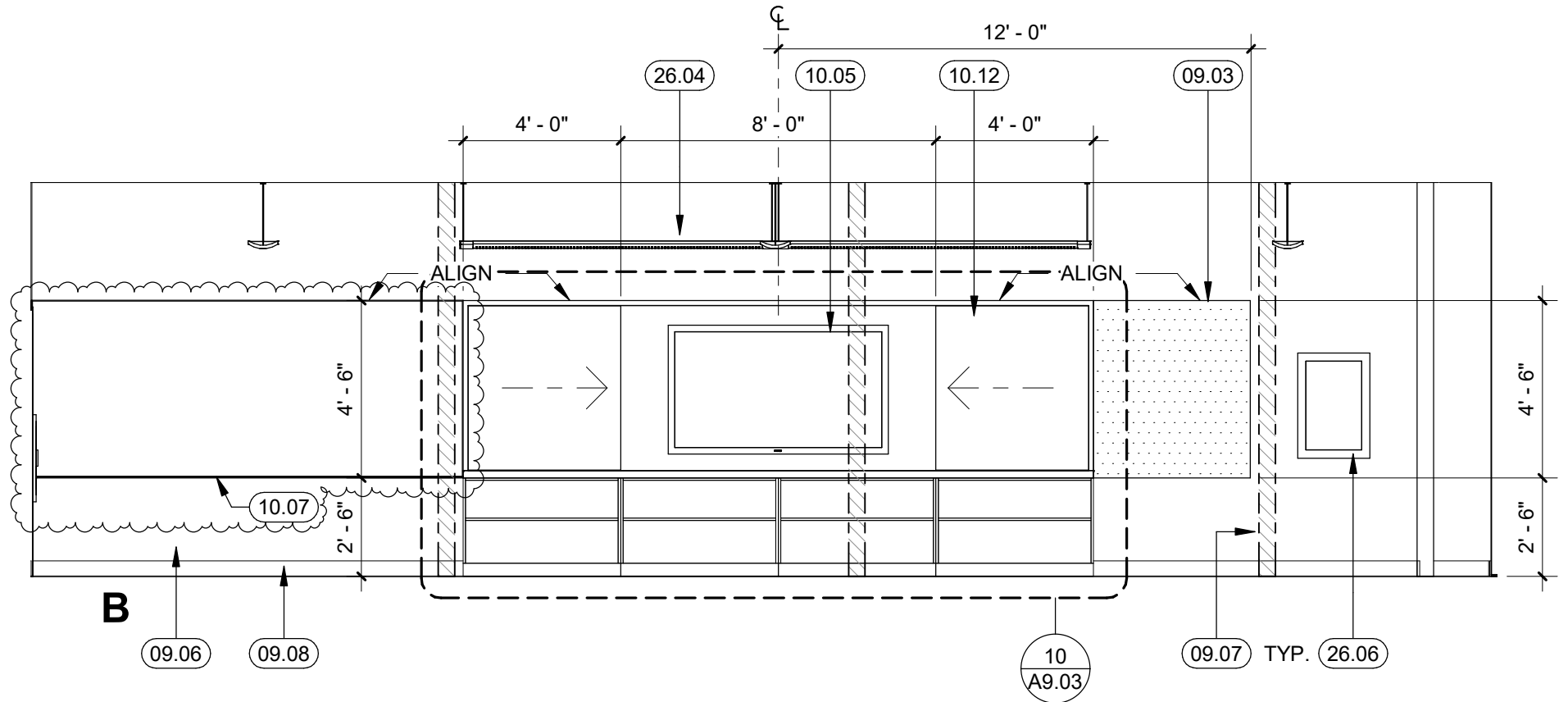
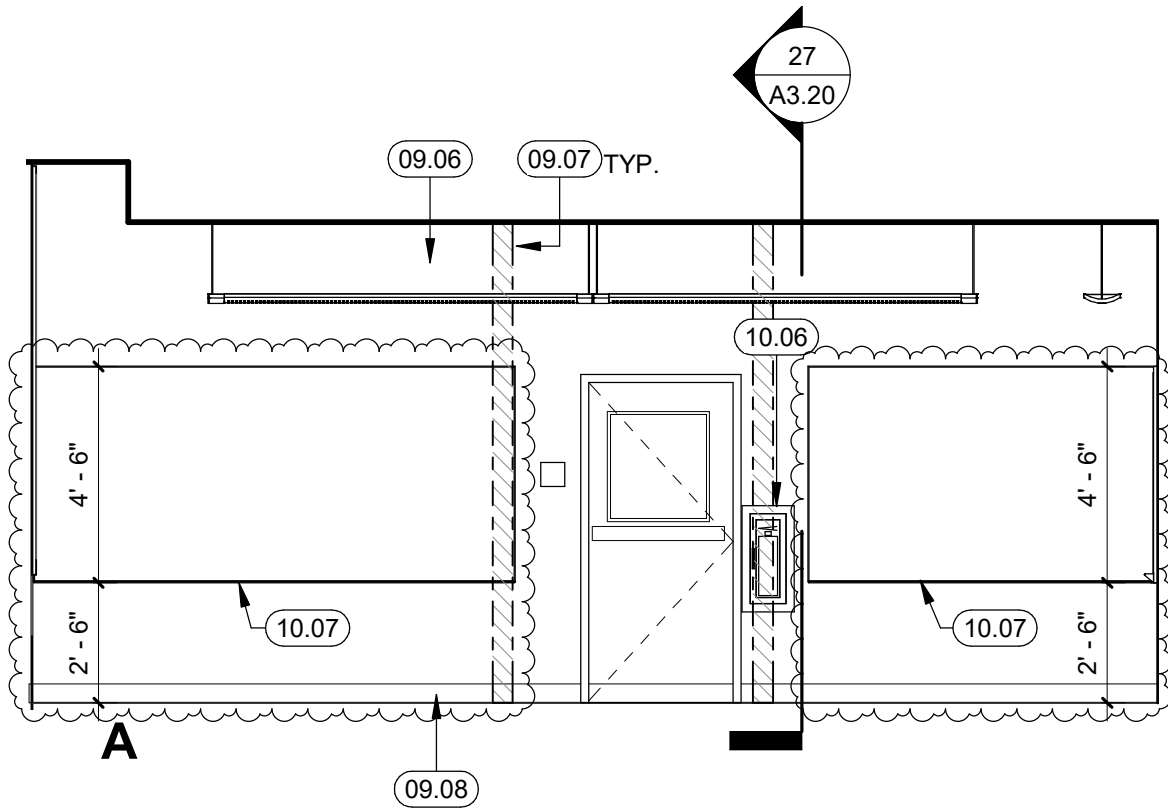
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Drwn By EM
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Issue Date 11/11/2021
Sheet

ASK-02



1 CLASSROOM 1
1/4" = 1'-0"

KEYNOTES

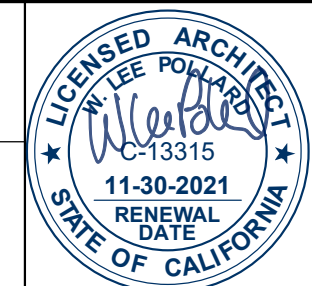
- 09.03 TACKABLE WALL COVERING, SEE FINISH SCHEDULE
- 09.06 (E) GYPSUM BOARD, PATCH, REPAIR & PAINT TO MATCH (E) AS NEEDED
- 09.07 PATCH, REPAIR AND PAINT GYPSUM BOARD AT DEMOLISHED AREAS
- 09.08 (N) 4" RUBBER BASE
- 10.05 SURFACE MOUNTED LED TV, SEE DETAIL 2/A9.03
- 10.06 SEMI-RECESSED FIRE EXTINGUISHER . SEE DETAIL 27/A9.03 SIM.
- 10.07 MARKER BOARD, SEE DETAIL 20/A9.03
- 10.12 TEACHING WALL CASEWORK W/HORIZONTAL SLIDING MARKERBOARD UNIT, SEE DETAIL 10/A9.03
- 26.04 LIGHT FIXTURE. PENDANT LIGHTS WITHOUT ENOUGH CLEARANCE TO SWING 45 DEGREES REQUIRE BRACING. SEE PENDANT LIGHT SWAY BRACING DETAILS IN ELECTRICAL DRAWINGS (DETAILS 1/E0.05, 3/E0.05 & 4/E0.05)
- 26.06 (N) FLUSHMOUNT ELECTRICAL PANEL, S.E.D.

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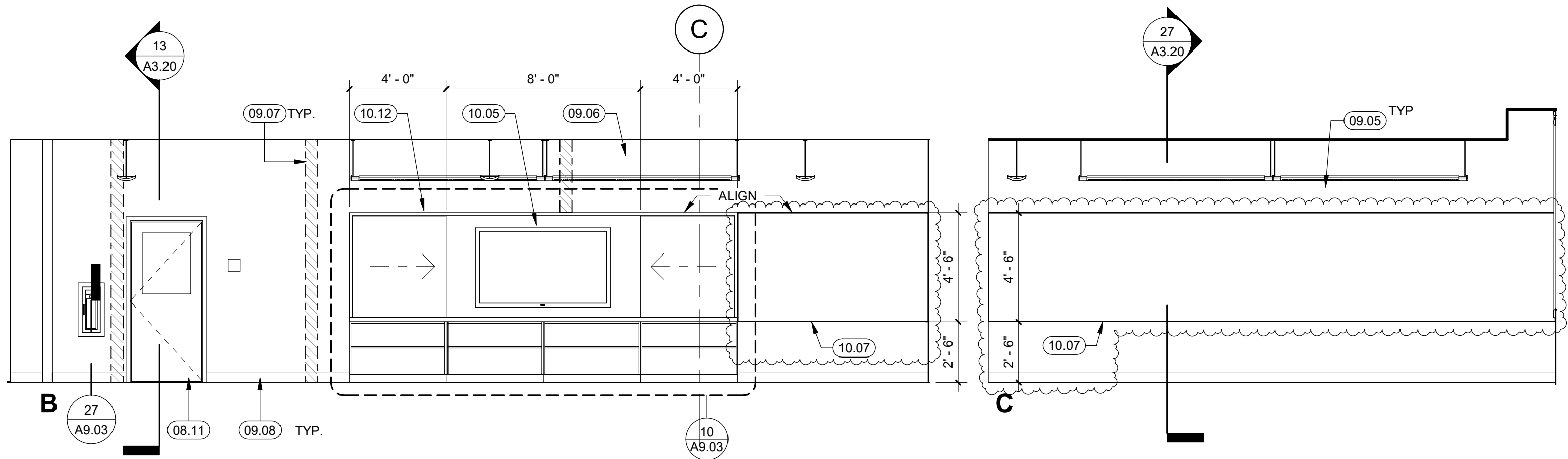
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ASK-03



1 CLASSROOM 2
1/4" = 1'-0"

KEYNOTES

- 08.11 REUSE (E) OPENING IN (E) CONCRETE WALL FROM 2004 RENOVATION, PROVIDE (N) GLAZED DOOR IN (N) DOOR FRAME
- 09.05 GYPSUM BOARD PAINTED, SEE FINISH SCHEDULE
- 09.06 (E) GYPSUM BOARD, PATCH, REPAIR & PAINT TO MATCH (E) AS NEEDED
- 09.07 PATCH, REPAIR AND PAINT GYPSUM BOARD AT DEMOLISHED AREAS
- 09.08 (N) 4" RUBBER BASE
- 10.05 SURFACE MOUNTED LED TV, SEE DETAIL 2/A9.03
- 10.07 MARKER BOARD, SEE DETAIL 20/A9.03
- 10.12 TEACHING WALL CASEWORK W/HORIZONTAL SLIDING MARKERBOARD UNIT, SEE DETAIL 10/A9.03



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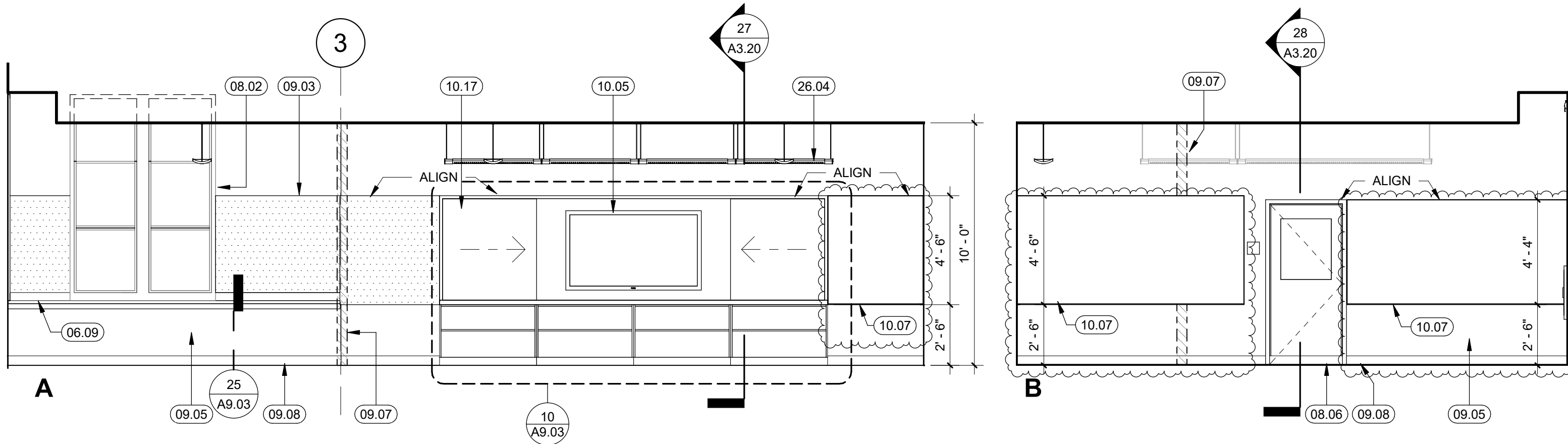
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Sheet

ASK-04



1 CLASSROOM 3
1/4" = 1'-0"

KEYNOTES

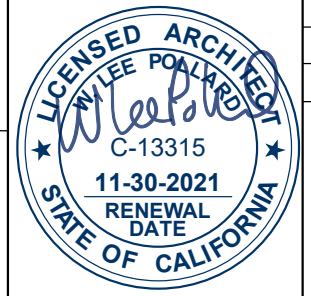
- 06.09 (N) P.LAM COUNTERTOP, SEE DETAIL 25/A9.03
- 08.02 (E) WINDOW UNIT, PATCH, REPAIR & PAINT DAMAGED OR SCUFFED WINDOWS AND TRIM
- 08.06 (E) DOOR & FRAME, PAINT SCUFFED OR DAMAGED DOOR TO MATCH (E), SEE DOOR SCHEDULE
- 09.03 TACKABLE WALL COVERING, SEE FINISH SCHEDULE
- 09.05 GYPSUM BOARD PAINTED, SEE FINISH SCHEDULE
- 09.07 PATCH, REPAIR AND PAINT GYPSUM BOARD AT DEMOLISHED AREAS
- 09.08 (N) 4" RUBBER BASE
- 10.05 SURFACE MOUNTED LED TV, SEE DETAIL 2/A9.03
- 10.07 MARKER BOARD, SEE DETAIL 20/A9.03
- 10.17 HORIZONTAL SLIDING MARKERBOARD UNIT, TYP.
- 26.04 LIGHT FIXTURE. PENDANT LIGHTS WITHOUT ENOUGH CLEARANCE TO SWING 45 DEGREES REQUIRE BRACING. SEE PENDANT LIGHT SWAY BRACING DETAILS IN ELECTRICAL DRAWINGS (DETAILS 1/E0.05, 3/E0.05 & 4/E0.05)



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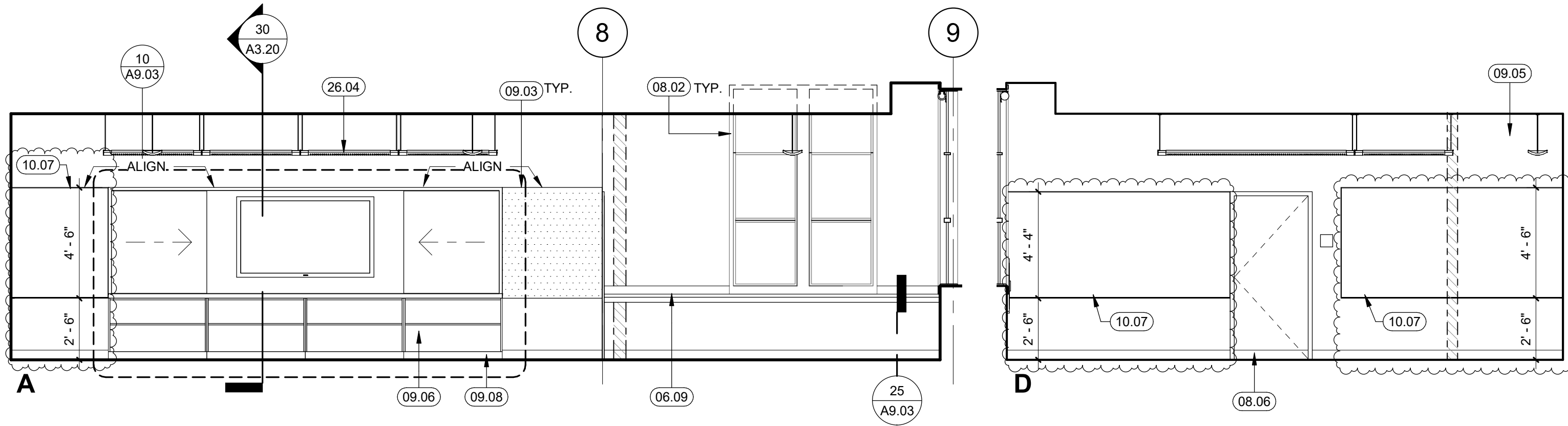
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Issue Date 11/11/2021
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ASK-05



1 CLASSROOM 5
1/4" = 1'-0"

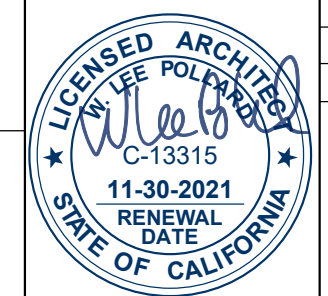
KEYNOTES

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- 09.06 (E) GYPSUM BOARD, PATCH, REPAIR & PAINT TO MATCH (E) AS NEEDED
- 09.08 (N) 4" RUBBER BASE
- 10.07 MARKER BOARD, SEE DETAIL 20/A9.03
- 26.04 LIGHT FIXTURE. PENDANT LIGHTS WITHOUT ENOUGH CLEARANCE TO SWING 45 DEGREES REQUIRE BRACING. SEE PENDANT LIGHT SWAY BRACING DETAILS IN ELECTRICAL DRAWINGS (DETAILS 1/E0.05, 3/E0.05 & 4/E0.05)

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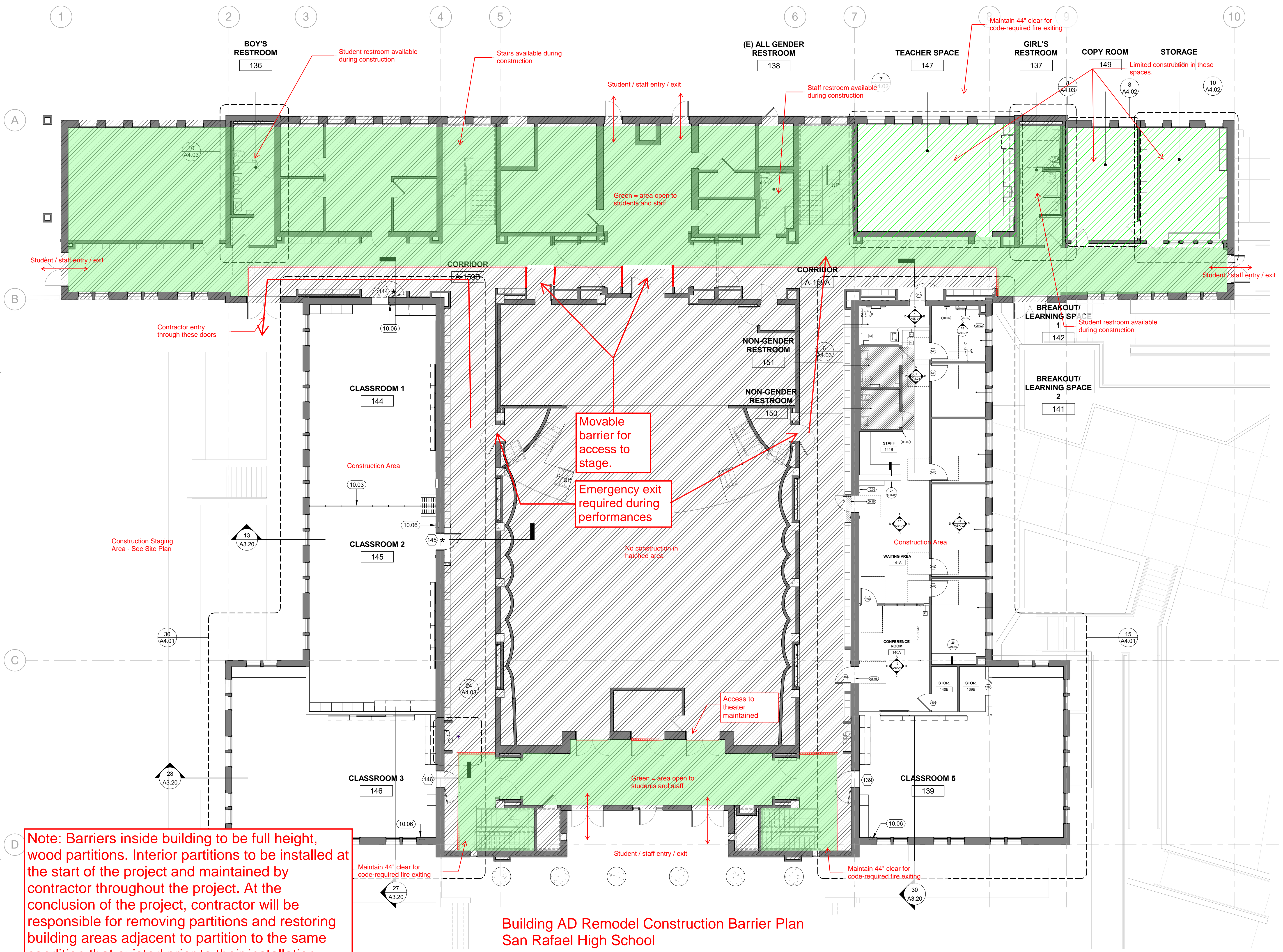
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Issue Date 11/11/2021
Sheet

ASK-06

HYA Job No. 5561



Note: Barriers inside building to be full height, wood partitions. Interior partitions to be installed at the start of the project and maintained by contractor throughout the project. At the conclusion of the project, contractor will be responsible for removing partitions and restoring building areas adjacent to partition to the same condition that existed prior to their installation.

**Building AD Remodel Construction Barrier Plan
San Rafael High School**

HY Architects
8/17/21

Construction fence line - Construction fencing to be appropriately secured and have privacy fabric installed along entire perimeter.

Student access to Science Building.

Contractor vehicle entry - no on-site parking

BUILDING F CLASSROOMS

BUILDING R CLASSROOMS

Construction Staging Area

Student / staff entry / exit

Contractor entry through these doors

Min. 8' single or double gate to be installed for fire truck & other contractor access.

Student / staff entry / exit

Student / staff entry / exit

BUILDING AD

BUILDING LA

See floor plan for construction / staff / student zones

SECOND FLOOR ENTRY

Student / staff entry / exit

STEAM BUILDING

ADMIN/COMMONS

MADRONE

(E) ACCESSIBLE PASSENGER DROP OFF AND LOADING ZONE DSA #01-117565

(E) ACCESSIBLE PARKING SPACES DSA #01-117565

(E) ACCESSIBLE PARKING SPACES, DSA #01-117565

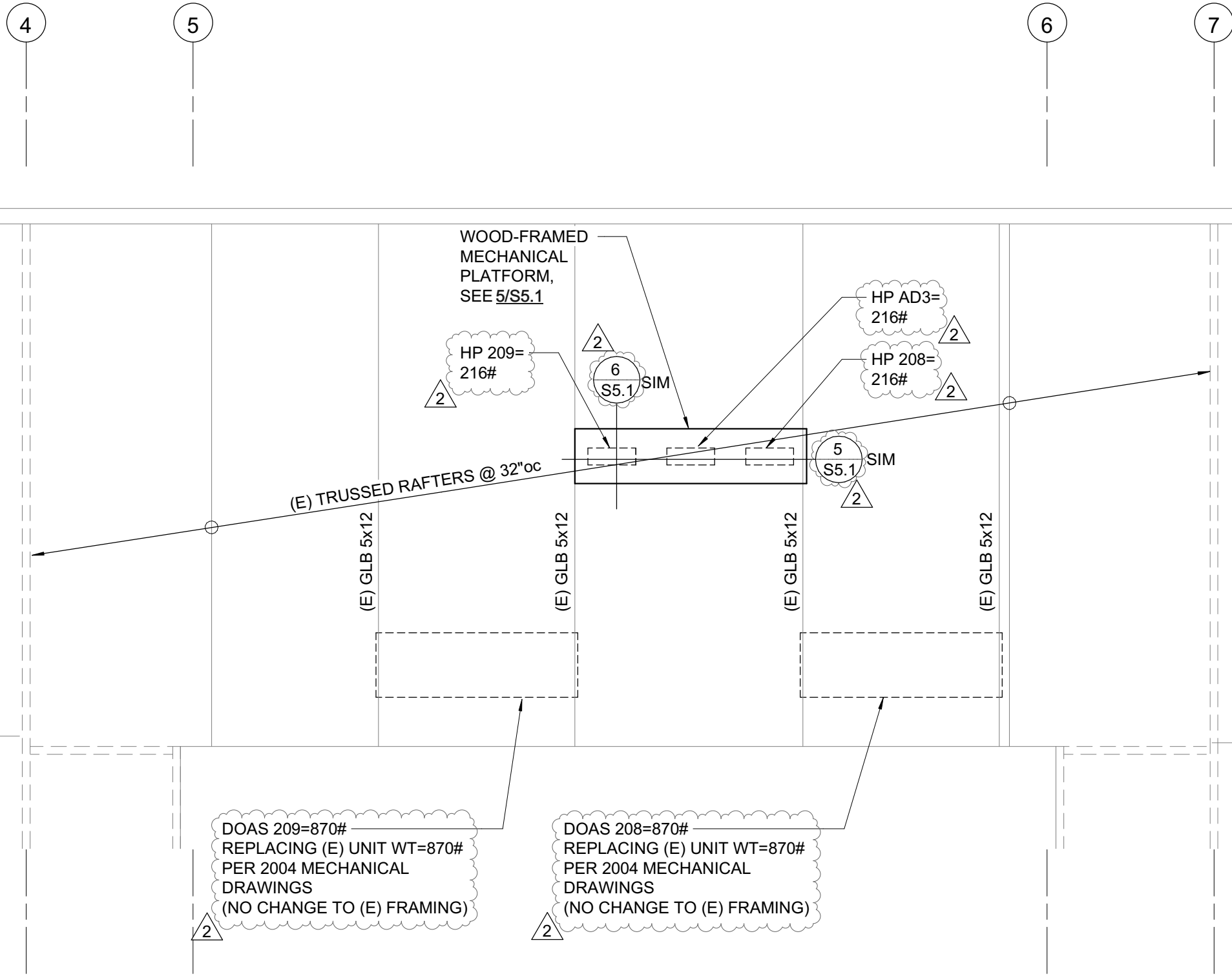
(E) ACCESSIBLE PAS AND DSA

TO BUS STOP (1/8 MILE)

Building AD Remodel Construction Staging Plan San Rafael High School

HY Architects
8/17/21

ASK-08



A

B

4

5

6

7



PARTIAL ROOF FRAMING PLAN

1/8" = 1'-0"

ZFA STRUCTURAL ENGINEERS
601 montgomery street | suite 1450 | san francisco ca 94111 | 415.243.4091 | zfa.com

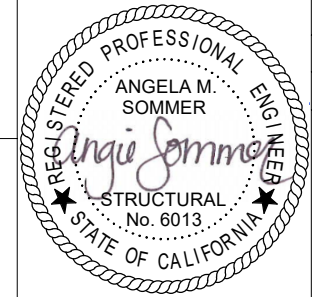
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HYA Job No. 5561

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150 3RD STREET, SAN RAFAEL, CA 94901



Drwn By GJC/AMS
Ref. Dwg. S2.3
Issue Date 11/17/2021

Sheet
SSK-01

FAN COIL UNIT SCHEDULE

UNIT	LOCATION	"SAMSUNG" MODEL NO. (INDOOR UNIT)	CFM	MIN. OA CFM	RATED COOLING CAPACITY (MBH)	RATED HEATING CAPACITY (MBH)	ELECTRICAL DATA				CONNECTED TO OUTDOOR	OPER. WT.	MOUNTING DETAIL	CONTROL DIAGRAM	NOTES
							VOLT/PH	FAN MOTOR	MCA	MOP (AMPS)					
FC AD312A	CLASSROOM AD312	AM012RN4DCH/AA	550	N/A	12.0	13.5	208V/1Ph	1	0.4	15	HP AD2	45	2 M5.1	2 M6.1	1, 2, 3, 4, 5, 6
FC AD312B	CLASSROOM AD312	AM012RN4DCH/AA	550	N/A	12.0	13.5	208V/1Ph	1	0.4	15	HP AD2	45	2 M5.1	2 M6.1	1, 2, 3, 4, 5, 6
FC AD315A	CLASSROOM AD315	AM012RN4DCH/AA	550	N/A	12.0	13.5	208V/1Ph	1	0.4	15	HP AD2	45	2 M5.1	2 M6.1	1, 2, 3, 4, 5, 6
FC AD315B	CLASSROOM AD315	AM012RN4DCH/AA	550	N/A	12.0	13.5	208V/1Ph	1	0.4	15	HP AD2	45	2 M5.1	2 M6.1	1, 2, 3, 4, 5, 6

- NOTES:**
1. PROVIDE WITH HARD-WIRED WALL MOUNTED THERMOSTAT.
 2. PROVIDE W/ 1/4" RL & 1/2" RS PIPING CONNECTIONS TO ASSOCIATED HEAT PUMP.
 3. OUTSIDE AIR SUPPLY PROVIDED TO SPACE BY SEPARATE DOAS SYSTEM AS SHOWN ON PLANS.
 4. OPERATING WEIGHT INCLUDES ALL ACCESSORIES.
 5. PROVIDE WITH MFR'S MERV-13 FILTER.
 6. PROVIDE WITH "LITTLE GIANT" MODEL VCMA-20ULS CONDENSATE PUMP. 208/1/60, 1/30 HP, 0.6A, 1/2 GAL. TANK. DISCHARGE CHECK VALVE W/ OPTIONAL SAFETY SWITCH. INSTALL ON WALL BRACKET ABOVE CEILING. INTERLOCK SAFETY SWITCH TO SHUT DOWN FAN COIL UPON FAILURE.

HEAT PUMP UNIT SCHEDULE

UNIT	LOCATION	"SAMSUNG" MODEL NO.	PHYSICAL DIMENSIONS HxWxD (in.)	COOL (BTUH)	HEAT (BTUH)	ELECTRICAL DATA			HP WT. (LBS.)	MOUNTING DETAIL	CONTROL DIAGRAM	NOTES
						VOLT/PH	MCA	MOC				
HP AD312	ADMIN ROOF	AM036TXMDCH/AA	48x37x13	38,000	42,000	208V/1φ	23	40	220	9 M5.2	2 M6.1	1, 2, 3, 4
HP AD315	ADMIN ROOF	AM036TXMDCH/AA	48x37x13	38,000	42,000	208V/1φ	23	40	220	9 M5.2	2 M6.1	1, 2, 3, 4
HP AD3	ADMIN ROOF	AM036TXMDCH/AA	48x37x13	38,000	42,000	208V/1φ	23	40	220	9 M5.2	3 M6.1	1, 2, 3, 4

- NOTES:**
1. R410 REFRIGERANT.
 2. COOLING CAPACITY RATED AT 80°F DB / 67°F WB INDOOR AIR AND 95°F DB / 75°F OUTDOOR AIR.
 3. HEATING CAPACITY IS RATED AT 70°F DB / 60°F WB INDOOR AIR AND 47°F DB & 43°F WB OUTDOOR AIR.
 4. PROVIDE W/ 3/8" RL & 5/8" RS PIPING CONNECTIONS TO ASSOCIATED FAN COILS.

DEDICATED OUTSIDE AIR SYSTEM SCHEDULE

UNIT	LOCATION SERVED	"DAIRTECH" MODEL	SUPPLY FAN					RELIEF FAN					DX COIL						CONNECTED TO HEAT PUMP UNIT	ELEC				MAX. OPER. WT. (LBS.)	MOUNTING DETAIL	CONTROL DIAGRAM	NOTES
			"COOK" MODEL	CFM	ESP (IN. W.G.)	TSP (IN. W.G.)	HP	"COOK" MODEL	CFM	ESP (IN. W.G.)	TSP (IN. W.G.)	HP	COOLING			HEATING				VOLT/PH	SF FLA	RF FLA	MCA				
													CAP. (MBH)	EAT F DB	LAT F DB	CAP. (MBH)	EAT F DB	LAT F DB									
DOAS AD312	CLASSROOM AD312	CUSTOM	120SQN-D VF	320	0.5"	1.4"	1/2	120ACRU-D VF	320	0.75"	0.87"	1/6	6.9	95.0	75.0	13.8	30.0	70.0	HP AD3	208/1	4.9	1.6	7.7	870	10 M5.2	1 M6.2	1, 2, 3, 4, 5, 6
DOAS AD315	CLASSROOM AD315	CUSTOM	120SQN-D VF	320	0.5"	1.4"	1/2	120ACRU-D VF	320	0.75"	0.87"	1/6	6.9	95.0	75.0	13.8	30.0	70.0	HP AD3	208/1	4.9	1.6	7.7	870	10 M5.2	1 M6.2	1, 2, 3, 4, 5, 6

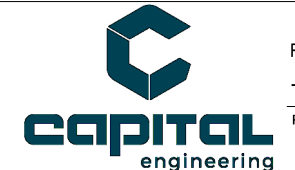
- NOTES:**
1. CONTRACTOR SHALL FIELD MEASURE EACH EXISTING ROOFTOP CURB AND SIZE/DIMENSION EACH CUSTOM DOAS UNIT TO FIT THE EXISTING CURB AND DUCT CONNECTIONS.
 2. PROVIDE NEMA 3R DISCONNECT SWITCH FOR SINGLE POINT POWER CONNECTION.
 3. PROVIDE (1) 20"x20"x2" MERV-13 FILTER WITH MAGNEHELIC GAUGE.
 4. PROVIDE OUTSIDE AIR DAMPER WITH ACTUATOR AND RAIN HOOD.
 5. PROVIDE ECM MOTORS WITH SPEED DIAL MOUNTED ON THE MOTORS.
 6. PROVIDE INTEGRAL DRAIN PAN.
 7. PROVIDE 0-10V REMOTE SPEED CONTROL, INTERLOCKED WITH FUME HOOD EXHAUST FAN.



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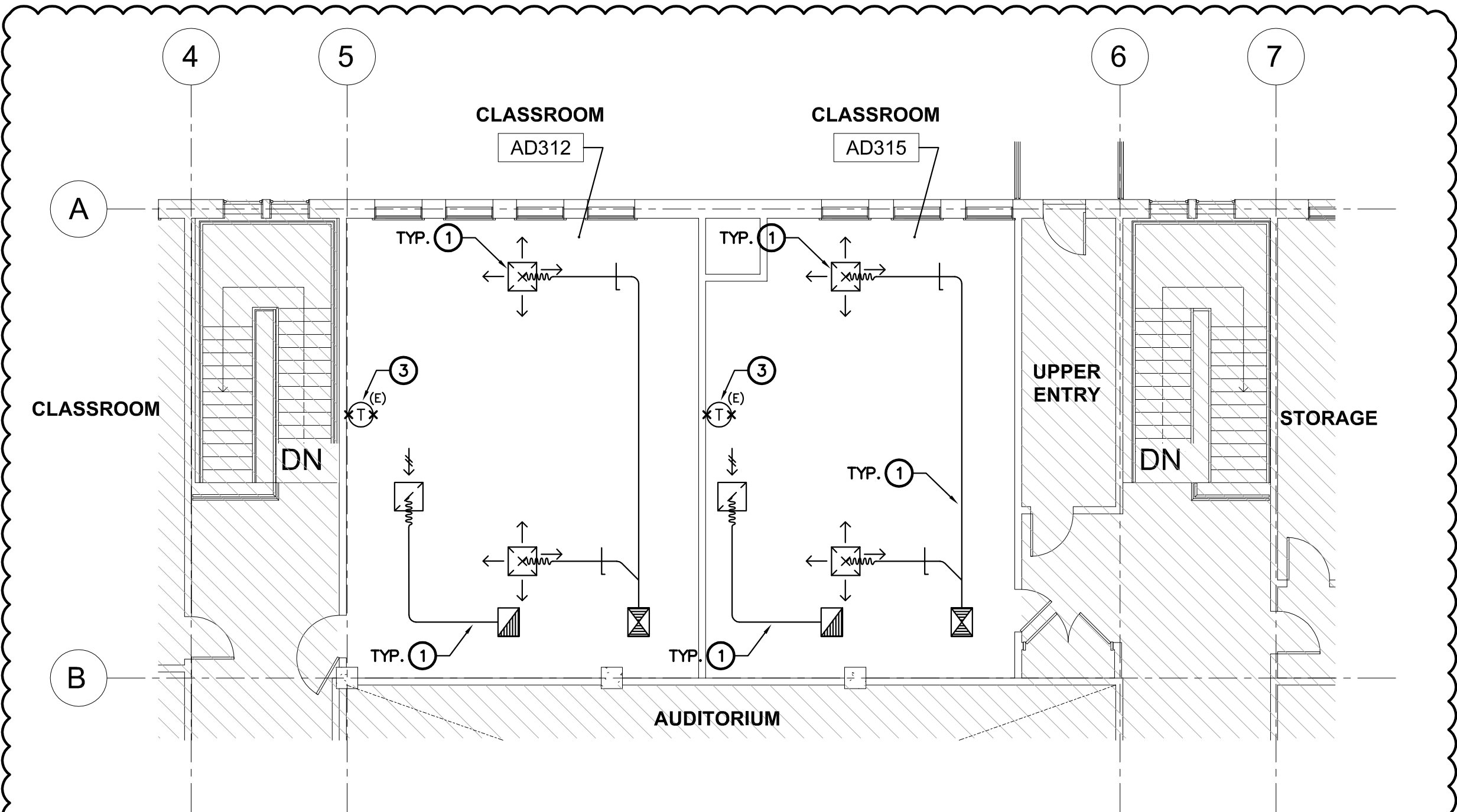
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MECHANICAL SECOND FLOOR DEMOLITION PLAN

SCALE : 1/8" = 1'-0"

2
M1.1

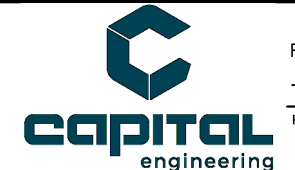
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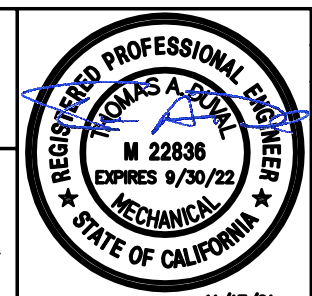
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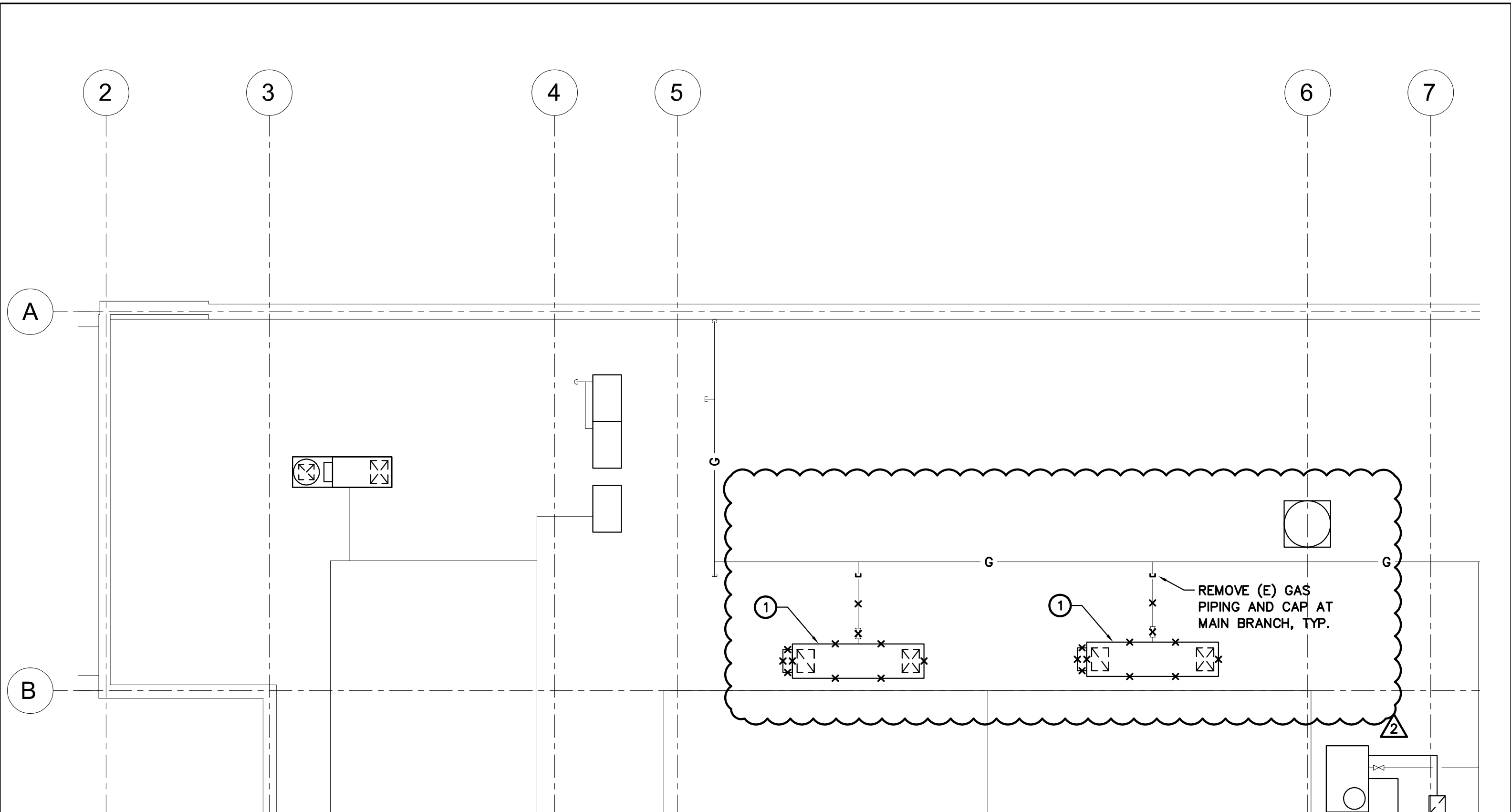
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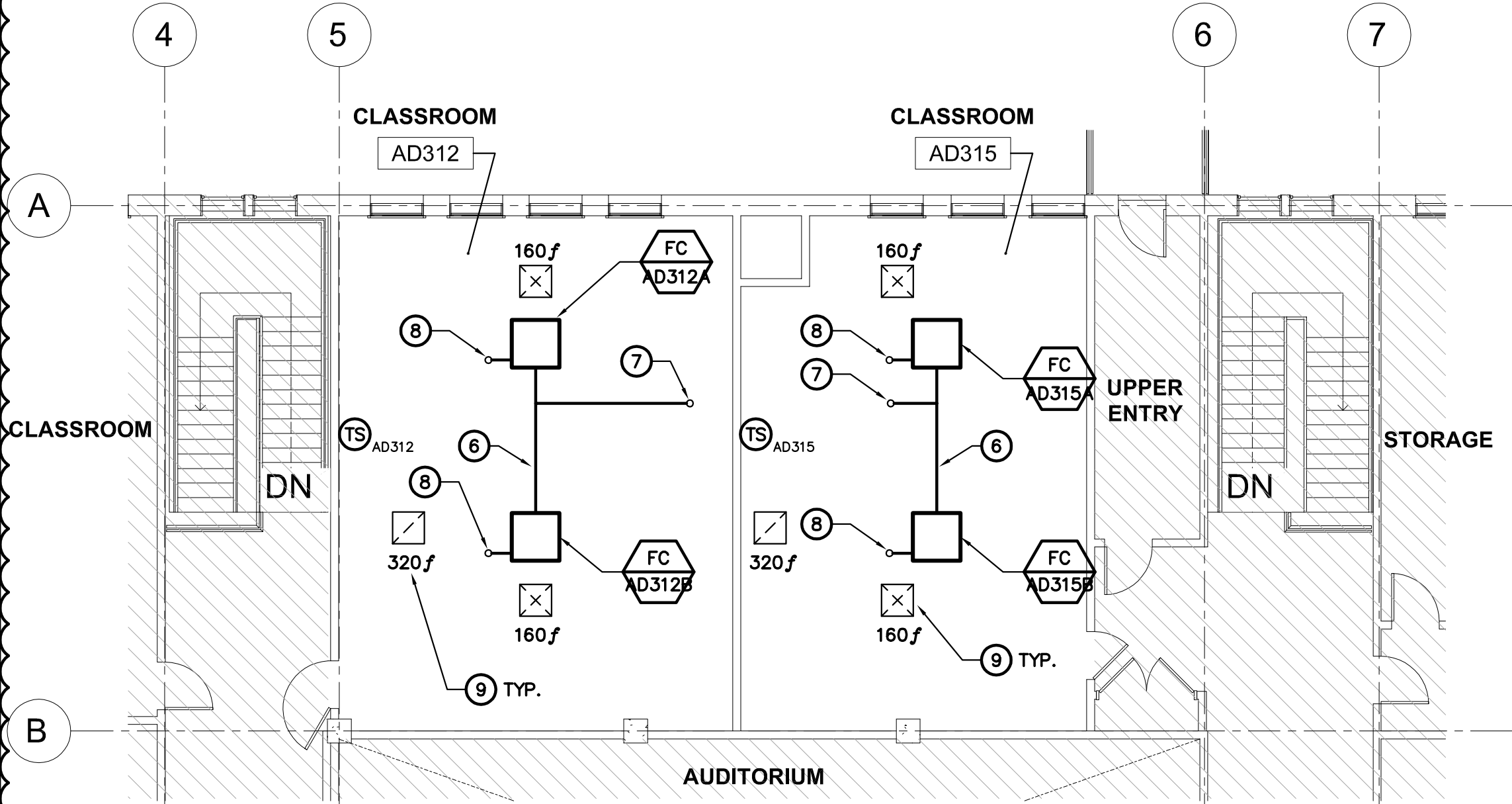


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KEYNOTES:

- ⑥ REFRIGERANT PIPING CONCEALED ABOVE CEILING. REFRIGERANT PIPING SHOWN AS SINGLE LINE FOR CLARITY, REFER TO SCHEDULES FOR QUANTITY AND SIZING.
- ⑦ REFRIGERANT PIPING UP THRU ROOF, REFER TO DETAIL 1/M5.2.
- ⑧ CONDENSATE DRAIN PIPING UP THRU ROOF, REFER TO DETAIL 1/M5.2.
- ⑨ REBALANCE EXISTING DIFFUSER/GRILLE TO CFM INDICATED, TYP.



MECHANICAL SECOND FLOOR PLAN

SCALE : 1/8" = 1'-0"

2
M2.1



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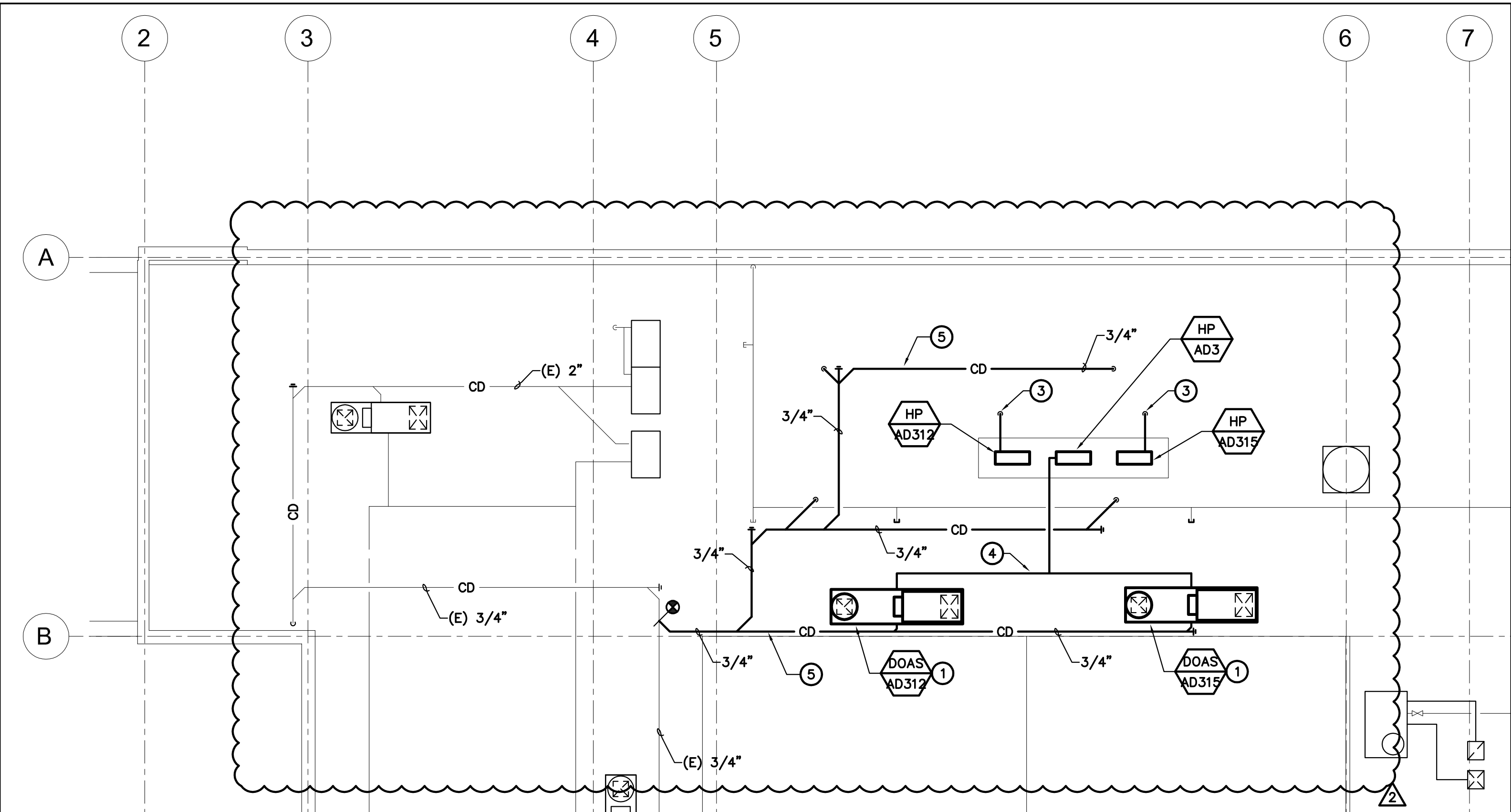
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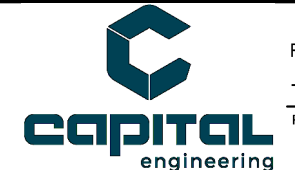


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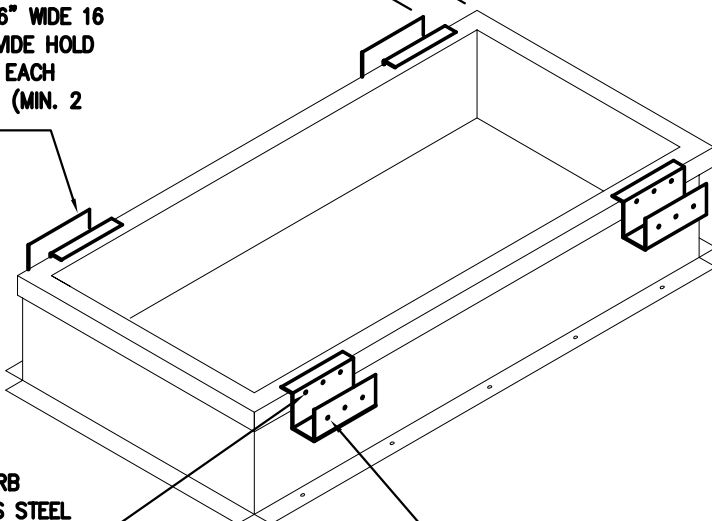


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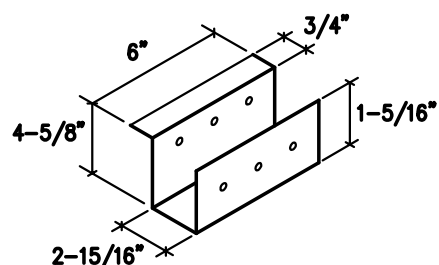
"MIROMETL" UNIT HOLD DOWNS FABRICATED FROM 6" WIDE 16 GAUGE STEEL. PROVIDE HOLD DOWN BRACKET AT EACH ISOLATOR LOCATION (MIN. 2 EACH LONG SIDE).

5" MAX.



SECURE TO (E) CURB WITH (3) STAINLESS STEEL #12 X 1/2" TEK SCREWS, TYPICAL.

SECURE TO UNIT BASE RAIL WITH (3) STAINLESS STEEL #12 X 1/2" TEK SCREWS, TYP.



UNIT HOLD DOWN BRACKET

HOLD DOWN PLACEMENT

SCALE : NONE

11
M5.2

SEALING GASKET

UNIT CASING

SECURE HOLD DOWN TO (E) ROOF CURB WITH TEK SCREWS. SEE 11/M5.2 FOR NUMBER REQUIRED.

NAIL FLASHING TO (E) WOOD

(E) WOOD NAILER

(E) ROOF CURB.

UNIT BASE RAIL, 14 GAUGE STEEL.

SECURE HOLD DOWN TO UNIT BASE RAIL WITH TEK SCREWS. SEE 11/M5.2 FOR NUMBER REQUIRED.

"MICROMETL" MICROHOLD 16 GA. UNIT HOLD DOWNS. SEE 11/M5.2 FOR LOCATION & NUMBER REQUIRED.

16 GA., 3/4" x 7" x CURB HEIGHT STIFFENER AT EACH HOLD DOWN, 1/8" FILLET STITCH WELD TO CURB BOTH SIDES AND TOP AND BOTTOM.

26 GA. GALV. SM COUNTER FLASHING.

DOAS UNIT TO (E) CURB MOUNTING

SCALE : NONE

10
M5.2

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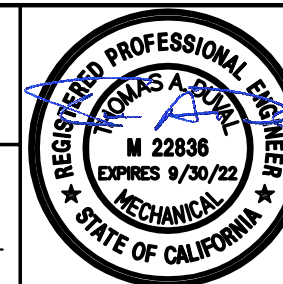
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2

EXISTING PANEL 2B

BLDG A 2ND FLOOR

DESCRIPTION	LOAD (KVA)								LOAD (KVA)				DESCRIPTION	
	LTG.	REC.	RES.	MOT.	CB	CKT	SN	CKT	CB	LTG.	REC.	RES.		MOT.
WIREMOLD		0.72			20/1	1	*	2	20/1	0.90				CLASS LIGHTS
WIREMOLD		0.90			20/1	3	*	4	20/1	1.15				CLASS LIGHTS
RCPT		1.22			20/1	5	*	6	20/1	0.90				CLASS LIGHTS
WIREMOLD		0.90			20/1	7	*	8	20/1	0.54				MAIN CORR LIGHTS
WIREMOLD		0.72			20/1	9	*	10	20/1			0.30		FSD
RCPT		1.22			20/1	11	*	12	20/1					SPARE
WIREMOLD		0.72			20/1	13	*	14	20/1					SPARE
WIREMOLD		0.90			20/1	15	*	16	20/1					SPARE
RCPT		1.22			20/1	17	*	18	20/1					SPARE
IDF		0.50			20/1	19	*	20	20/1					SPARE
RCPT		0.18			20/1	21	*	22	20/1					SPARE
RCPT CORR		0.18			20/1	23	*	24	20/1					SPARE
RCPT CLASSROOM		0.36			20/1	25	*	26	20/1					SPARE
RCPT CLASSROOM		0.36			20/1	27	*	28	20/1					SPARE
RCPT CLASSROOM		0.36			20/1	29	*	30	20/1					SPARE
SPARE					20/1	31	*	32	20/1					SPARE
SPARE					20/1	33	*	34	20/1					SPARE
SPARE					20/1	35	*	36	20/1					SPARE
SPARE					20/1	37	*	38	20/1					SPARE
SPARE					20/1	39	*	40	15/2				0.55	FC-208/209, BSB
SPARE					20/1	41	*	42						
TOTAL		10.46								3.49		0.30	0.55	
VOLTS: 120/208V, 3ø, 4W		MTG: SURFACE												
BUS: 125 AMP		TYPE: _____		CONNECTED KVA: 14.80										
MAIN: 125 AMP MB		KAIC: _____		CONNECTED AMPS: 41.10										

PANEL NOTES:

- ① INSTALL NEW BREAKER IN EXISTING SPACE.

②

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EXISTING PANEL DB1-A										BASEMENT				
DESCRIPTION	LOAD (KVA)				CB	CKT	SN	CKT	CB	LOAD (KVA)				DESCRIPTION
	LTG.	REC.	RES.	MOT.						LTG.	REC.	RES.	MOT.	
HP-1A				5.70	50/3	1 *	2	30/3				6.00	AH-A2	
						3 *	4							
						5 *	6							
HV-A6				3.30	30/3	7 *	8	30/3				3.00	HV-A5	
						9 *	10							
						11 *	12							
MOTOR				6.00	30/3	13 *	14	15/2				1.30	AD-305	
						15 *	16							
						17 *	18	15/2				1.30	AD-309	
			19 *	20										
AH-A3				6.00	30/3	21 *	22	30/2				2.60	AD-307, 309	
						23 *	24							
						25 *	26							
AH-A4				7.60	30/3	27 *	28	90/3				27.00	HRU-1A	
						29 *	30							
						31 *	32							
SF-A1				6.00	30/3	33 *	34	30/3				6.00	AH-A2	
						35 *	36							
						37 *	38		20/1	1.00				
AC-A5				13.90	60/3	39 *	40	20/1		1.00			ROOF GF'S	
						41 *	42						SPACE	
TOTAL				48.50							2.00		47.20	
VOLTS: 120/208V, 3ø, 4W		MTG: SURFACE												
BUS: 600 AMP		TYPE: SIEMENS		CONNECTED KVA: 97.70										
MAIN: 500 AMP MB		KAIC: (E)		CONNECTED AMPS: 271.39										

①

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①

PANEL NOTES:

①

① EXISTING CIRCUIT TO BE DISCONNECTED AND REMOVED.

①

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REVISED PANEL DB1-A											BASEMENT			
DESCRIPTION	LOAD (KVA)				CB	CKT	SN	CKT	CB	LOAD (KVA)				DESCRIPTION
	LTG.	REC.	RES.	MOT.						LTG.	REC.	RES.	MOT.	
HP-1A				5.70	50/3	1	*	2	30/3				6.00	AH-A2
						3	*	4						
						5	*	6						
DOAS-209, HP-209, HP-AD3				19.70	90/2	7	*	8	60/2				9.40	DOAS-208, HP-208
						9	*	10						
SPACE						11	*	12						SPACE
						13	*	14						
MOTOR				6.00	30/3	15	*	16	15/2				1.30	AD-305
						17	*	18						
						19	*	20	15/2				1.30	AD-309
HRU-AD2				13.60	50/3	21	*	22	30/2				2.60	AD-307, 309
						23	*	24						
						25	*	26						
AH-A4				7.60	30/3	27	*	28	90/3				27.00	HRU-1A
						29	*	30						
						31	*	32						
SF-A1				6.00	30/3	33	*	34	50/3				15.40	HRU-A1
						35	*	36						
						37	*	38	20/1		1.00			FIRE ALARM
AC-A5				13.90	60/3	39	*	40	20/1		1.00			ROOF GFIS
						41	*	42						SPACE
TOTAL				72.50							2.00		63.00	
VOLTS: 120/208V, 3ø, 4W		MTG: SURFACE												
BUS: 600 AMP		TYPE: SIEMENS		CONNECTED KVA: 137.50										
MAIN: 500 AMP MB		KAIC: (E)		CONNECTED AMPS: 381.94										

PANEL NOTES:

① REPLACE EXISTING BREAKER WITH NEW.

② REPLACE EXISTING 3 POLE BREAKER WITH NEW 90A/2P BREAKER AND (1) SPACE COVER.

③ REPLACE EXISTING 3 POLE BREAKER WITH NEW 60A/2P BREAKER AND (1) SPACE COVER.

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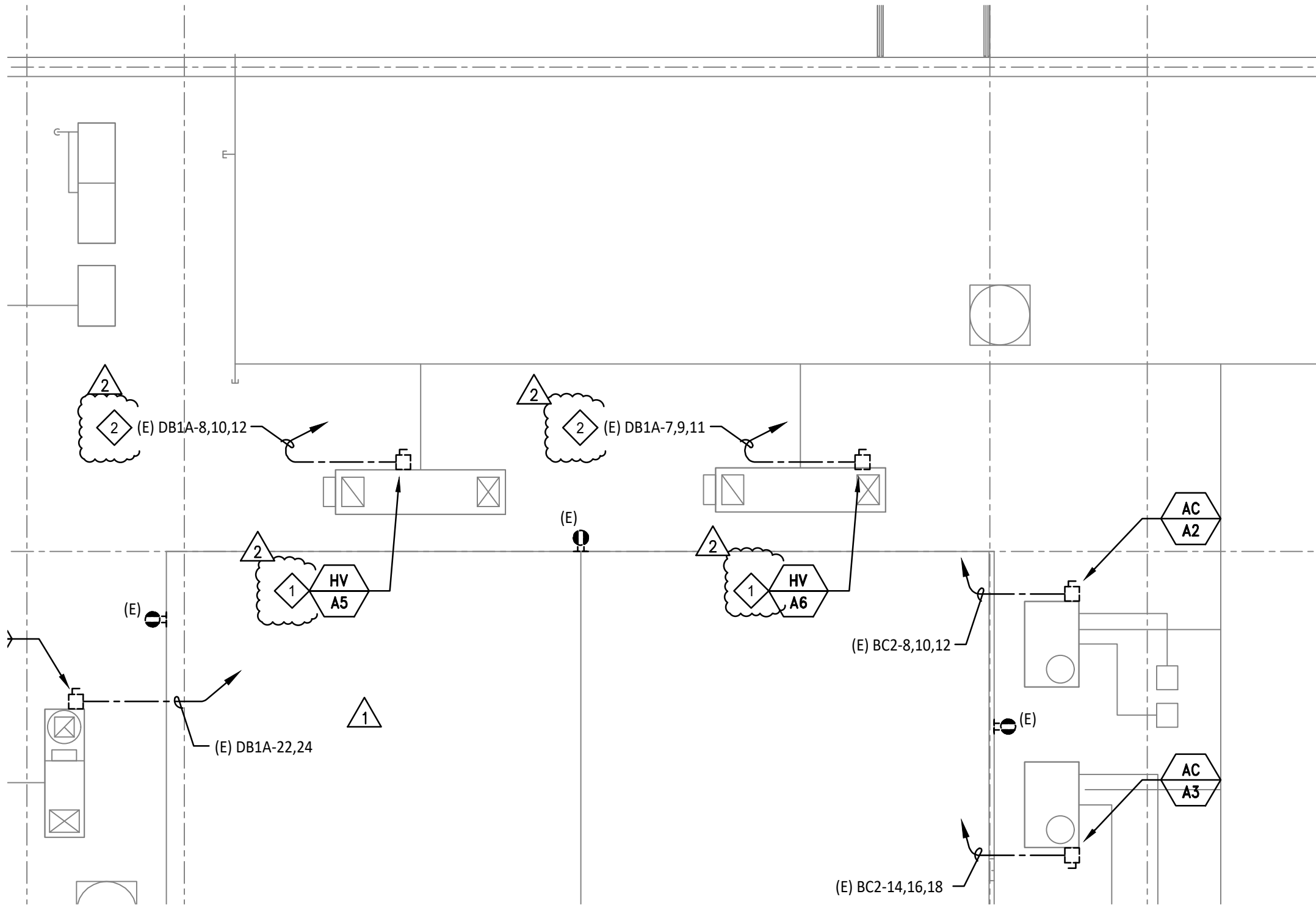


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SHEET NOTES

2 2 REMOVE EXISTING CONDUCTORS AND EXTEND CONDUIT TO NEW UNIT.



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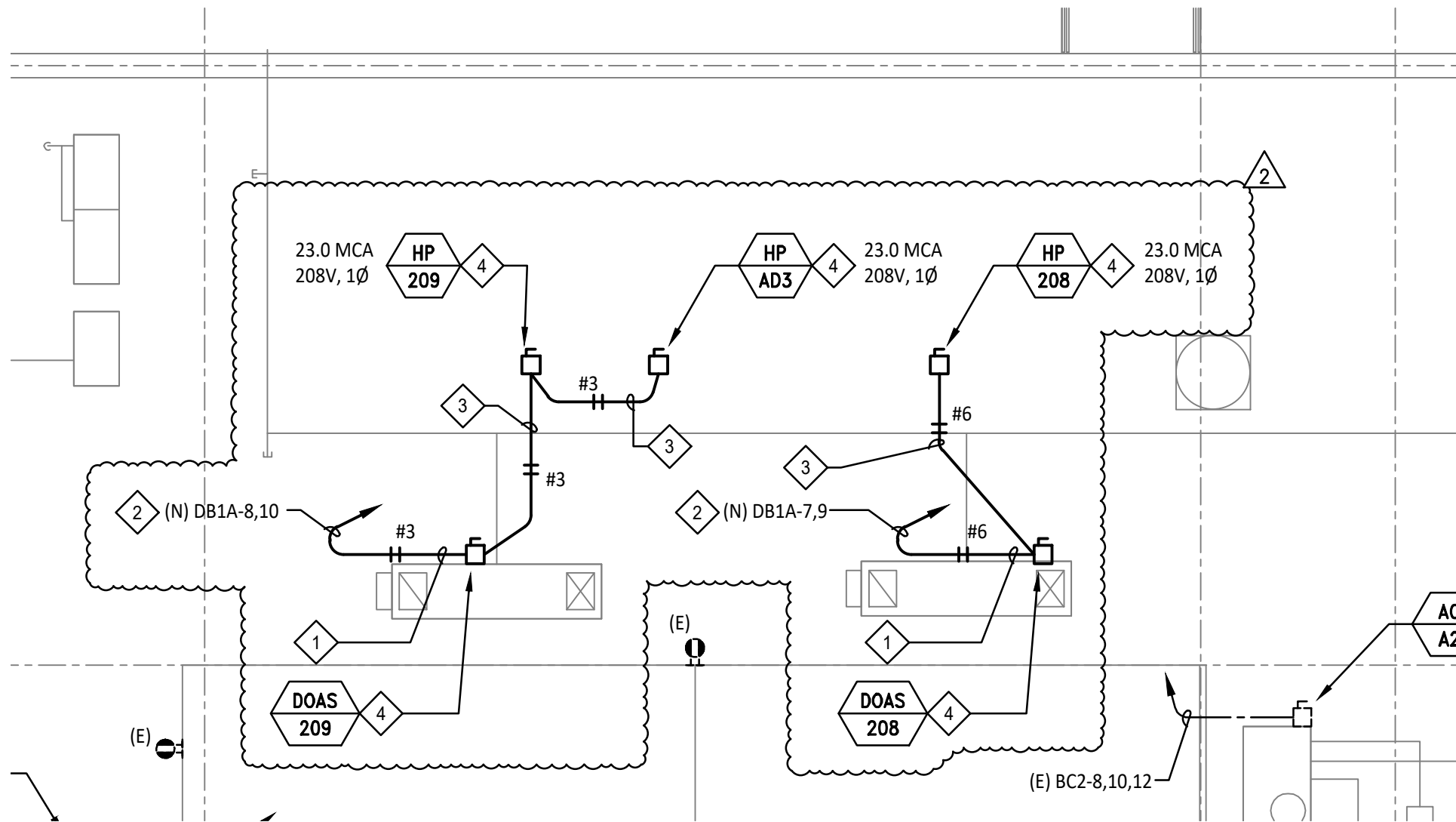
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SHEET NOTES

- 1 EXTEND EXISTING CONDUIT AS REQUIRED TO NEW UNIT DISCONNECT.
- 2 PULL NEW CONDUCTORS IN EXISTING RACEWAY TO NEW CIRCUIT BREAKER IN BASEMENT PANEL.
- 3 NEW CONDUIT AND CONDUCTORS.
- 4 UNITS ARE TO BE FED FROM SAME CIRCUIT. PROVIDE PULLCAN AND SPLICE AT EACH UNIT AND PROVIDE DISCONNECT SIZED PER UNIT PER MECHANICAL SCHEDULE.
- 5 VERIFY PANEL IN FIELD.



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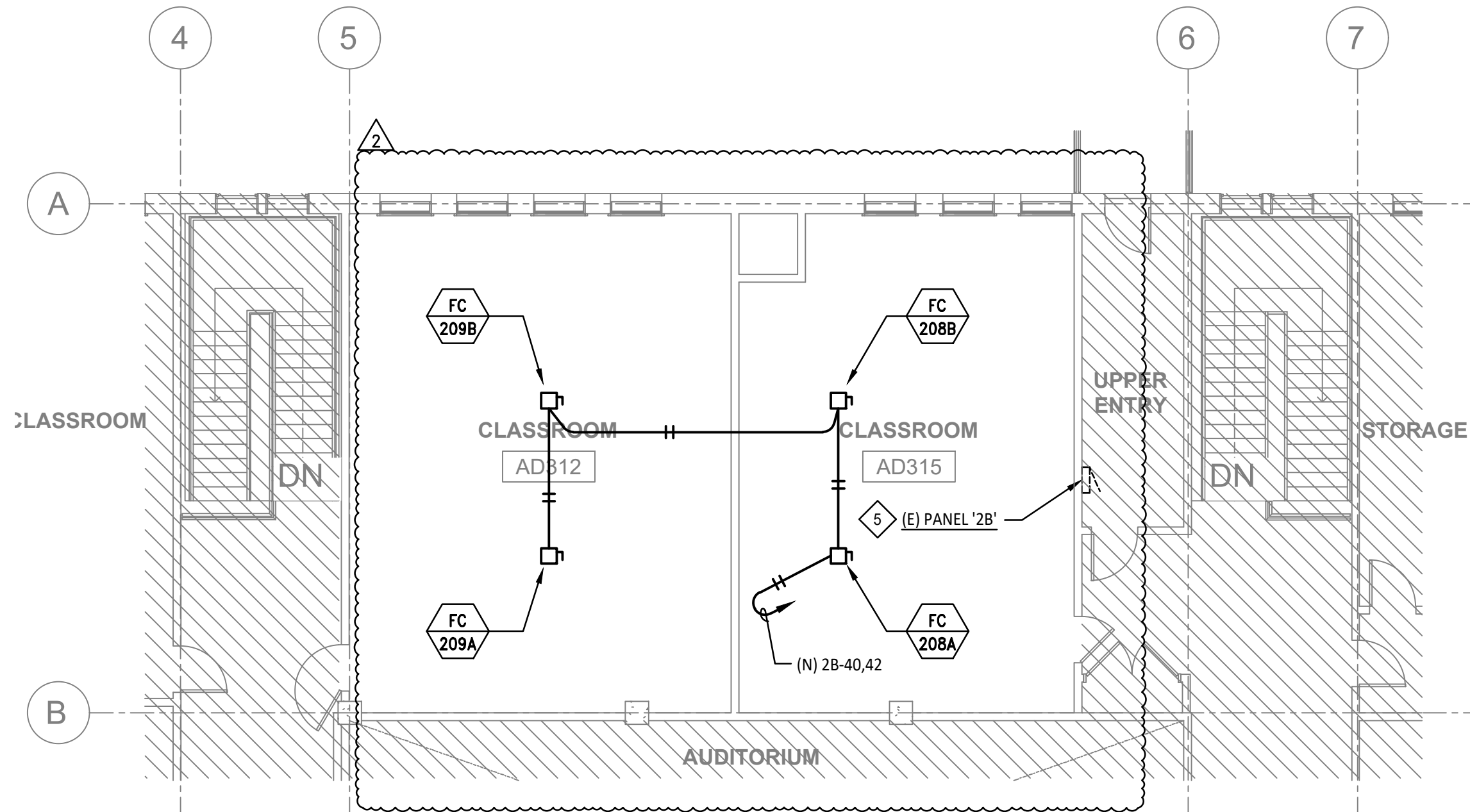
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ELECTRICAL POWER PLAN - SECOND FLOOR 1/8" = 1'-0" 2

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